

PLAN OF SUBDIVISION

EDITION

PS 801149Y

<p>LOCATION OF LAND</p> <p>PARISH: MICKLEHAM</p> <p>TOWNSHIP: —</p> <p>SECTION: —</p> <p>CROWN ALLOTMENT: —</p> <p>CROWN PORTION: 24 (PART)</p> <p>TITLE REFERENCE: VOL FOL</p> <p>LAST PLAN REFERENCE: LOT S ON PS746094C</p> <p>POSTAL ADDRESS: RATHDOWNE DRIVE (at time of subdivision) MICKLEHAM 3064</p> <p>MGA 94 CO-ORDINATES: E 314 150 ZONE: 55 (approx. centre of land in plan) N 5 844 350</p>	<p>Council Name: Hume City Council</p> <p>Council Reference Number: S008003 Planning Permit Reference: P19036 SPEAR Reference Number: S091023M</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 30/03/2017</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has not been satisfied</p> <p>Digitally signed by: Patrick Mora for Hume City Council on 05/09/2017</p>
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VESTING OF ROADS AND/OR RESERVES


NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON	NOTATIONS
ROAD R1 RESERVE No.1	HUME CITY COUNCIL JEMENA ELECTRICITY NETWORKS (VIC) LTD	<p>STAGING This is/is not a staged subdivision Planning Permit No. P19036</p> <p>DEPTH LIMITATION DOES NOT APPLY</p> <p>LAND SUBDIVIDED - 8.683ha</p> <p>LOTS 1 TO 2500 AND 2572 TO 2700 (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.</p>

EASEMENT INFORMATION

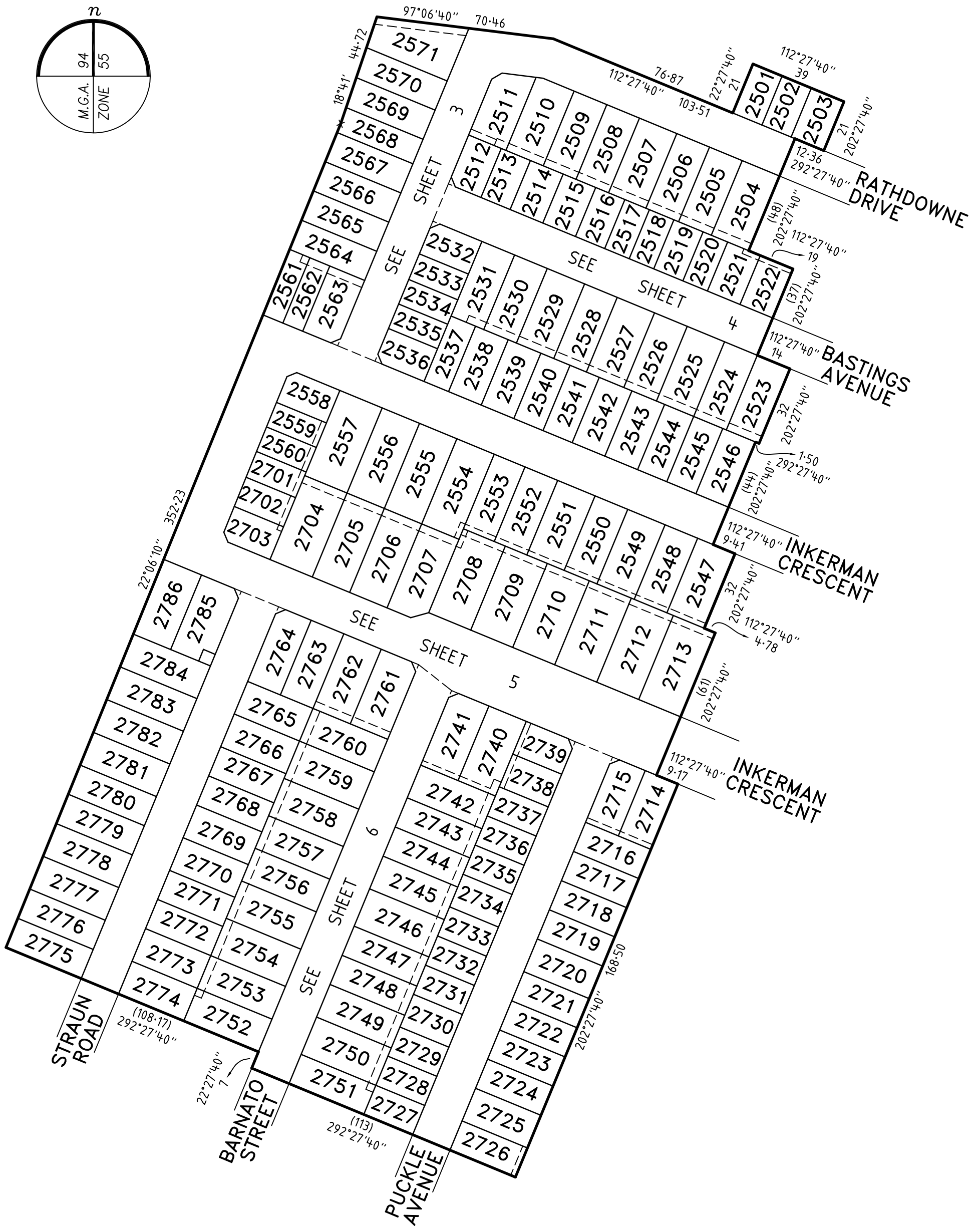
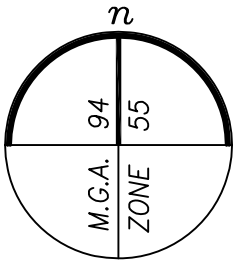
LEGEND: E – Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A – Appurtenant Easement

SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-2	SEWERAGE	SEE DIAG	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-3 E-3	DRAINAGE SEWERAGE	SEE DIAG SEE DIAG	THIS PLAN THIS PLAN	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION

MERRIFIELD – 25	LICENSED SURVEYOR GEOFFREY JAMES TURNER
157 LOTS	DATE 10/08/17 REFERENCE 29005253
 <p>Bosco Jonson Pty Ltd A.B.N 15 169 138 827 P.O. Box 5075, South Melbourne, Vic 3205 16 Eastern Road South Melbourne Vic 3205 Australia Tel 03) 9699 1400 Fax 03) 9699 5992</p>	VERSION H DRAWING 2900525AH
	Digitally signed by: Geoffrey James Turner (Bosco Jonson Pty Ltd), Surveyor's Plan Version (H), 16/08/2017, SPEAR Ref: S091023M

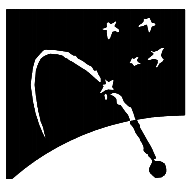
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MERRIFIELD - 25

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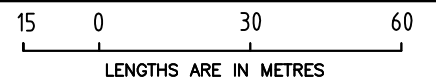


LICENSED SURVEYOR GEOFFREY JAMES TURNER

DATE 10/08/17
 VERSION H

Digitally signed by: Geoffrey James Turner (Bosco Jonson Pty Ltd),
 Surveyor's Plan Version (H),
 16/08/2017, SPEAR Ref: S091023M

SCALE
 1:1500



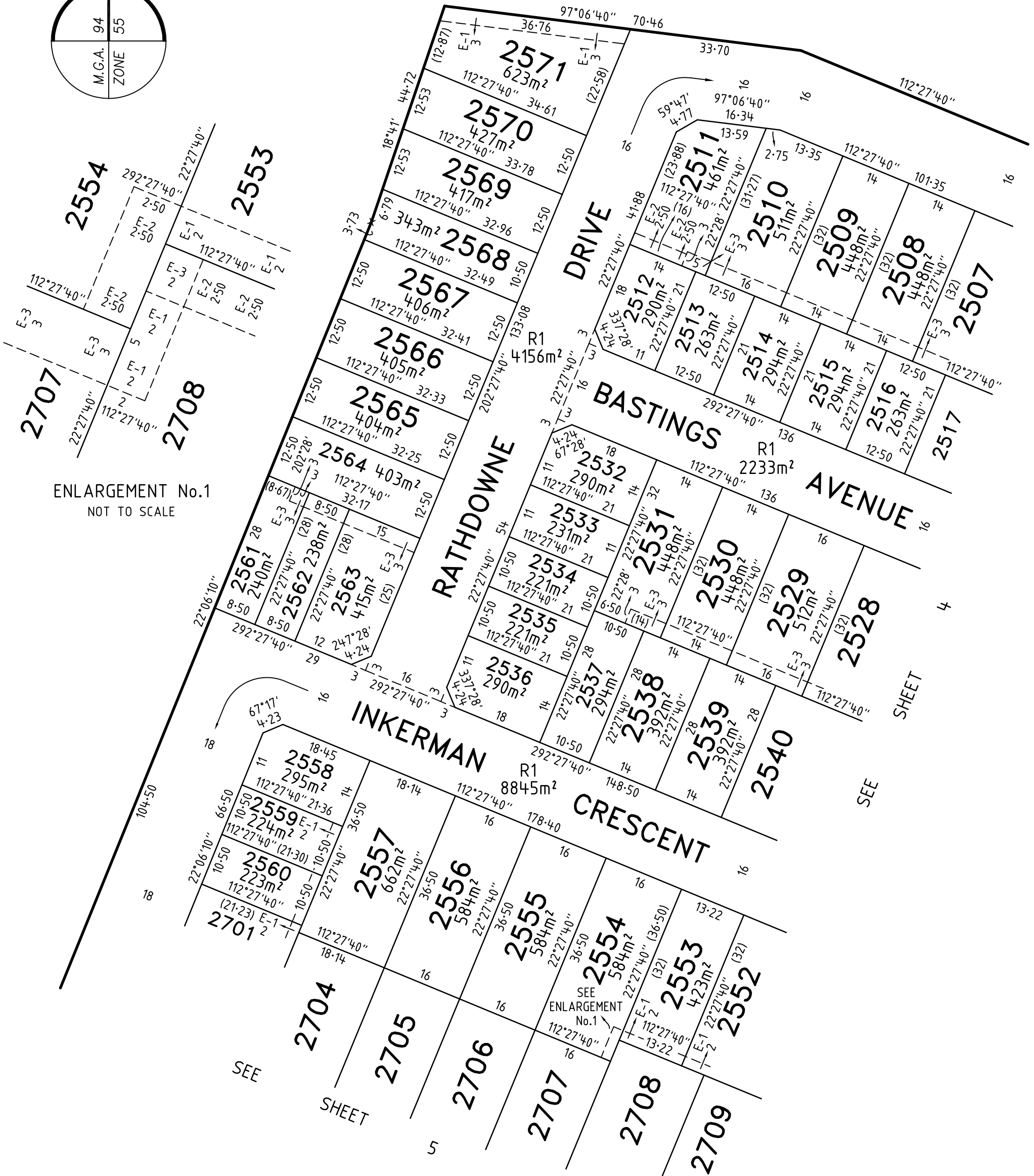
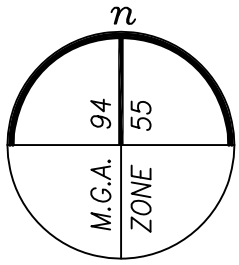
ORIGINAL SHEET SIZE A3

SHEET 2

Digitally signed by:
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 05/09/2017,
 SPEAR Ref: S091023M

PLAN OF SUBDIVISION

PS 801149Y



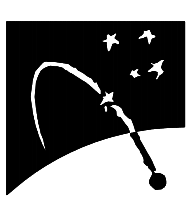
ENLARGEMENT No.1
NOT TO SCALE

SEE SHEET

SEE SHEET

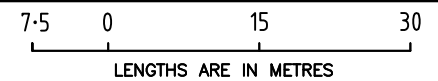
MERRIFIELD - 25

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Vic 3205 Australia
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LICENSED SURVEYOR GEOFFREY JAMES TURNER
DATE 10/08/17 REFERENCE 29005253
VERSION H DRAWING 2900525AH
Digitally signed by: Geoffrey James Turner (Bosco Jonson Pty Ltd),
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SCALE 1:750



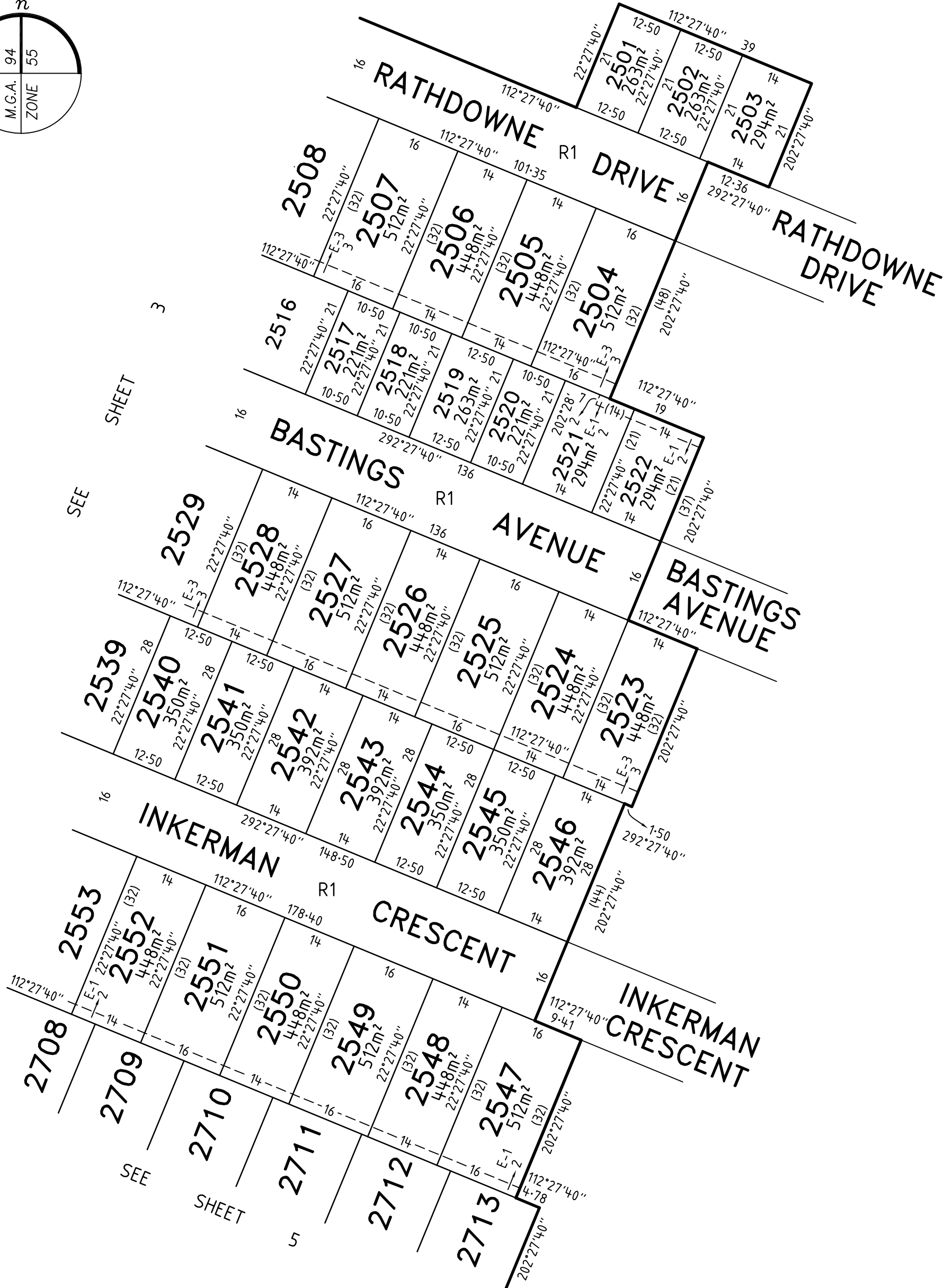
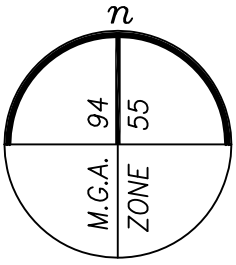
ORIGINAL SHEET SIZE A3

SHEET 3

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PS 801149Y

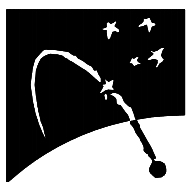


SEE SHEET 3

SEE SHEET 5

MERRIFIELD - 25

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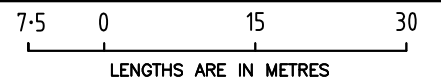


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SCALE 1:750



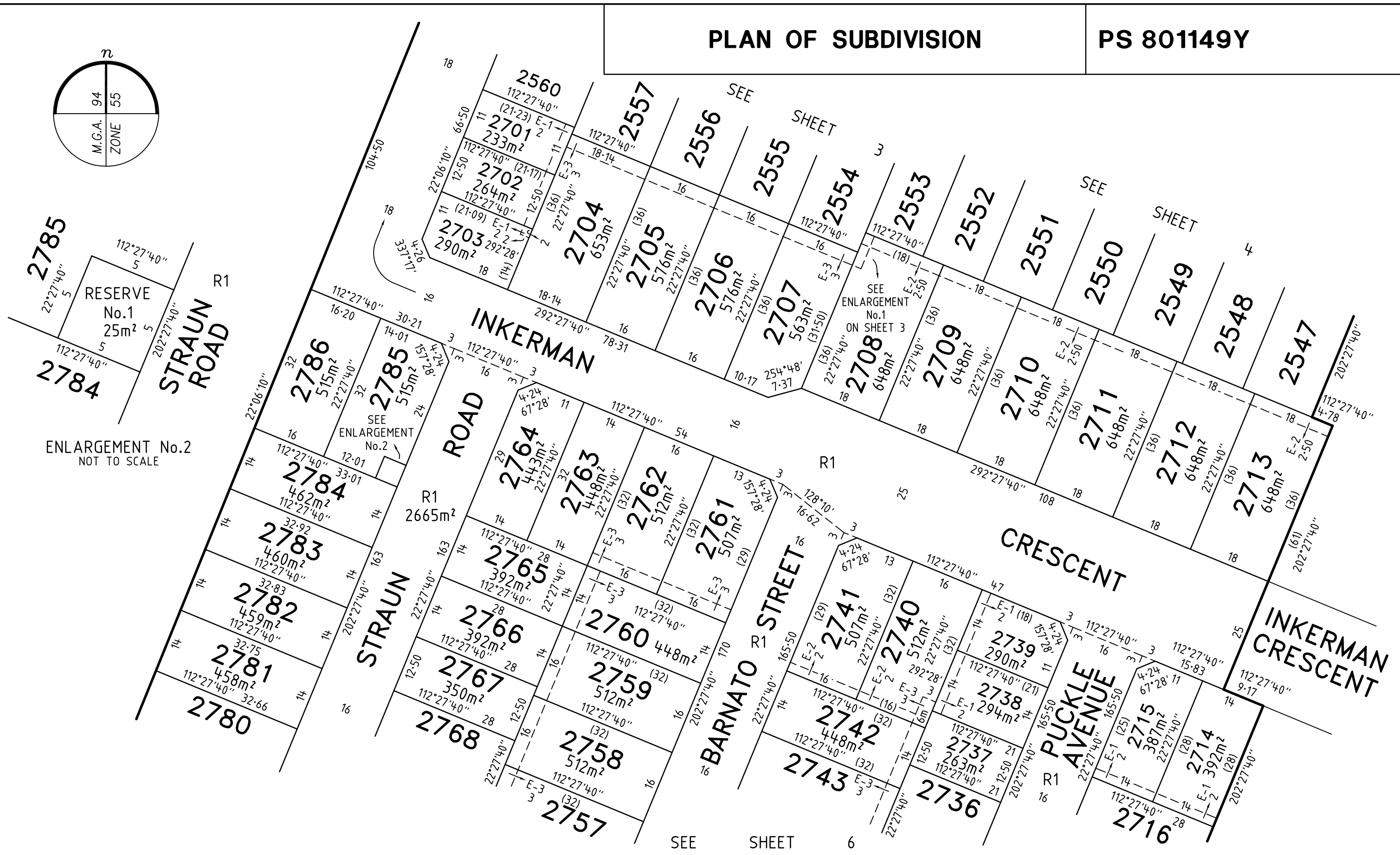
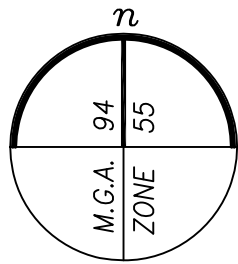
ORIGINAL SHEET SIZE A3

SHEET 4

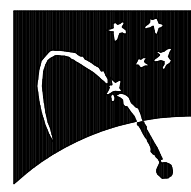
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MERRIFIELD - 25
 LICENSED SURVEYOR GEOFFREY JAMES TURNER

DATE 10/08/17 REFERENCE 29005253
 VERSION H DRAWING 2900525AH

7.5 0 15 30
 LENGTHS ARE IN METRES

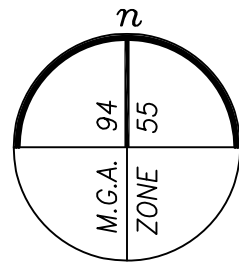
Digitally signed by: Geoffrey James Turner (Bosco Jonson Pty Ltd),
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SCALE 1:750 ORIGINAL SHEET SIZE A3
 SHEET 5

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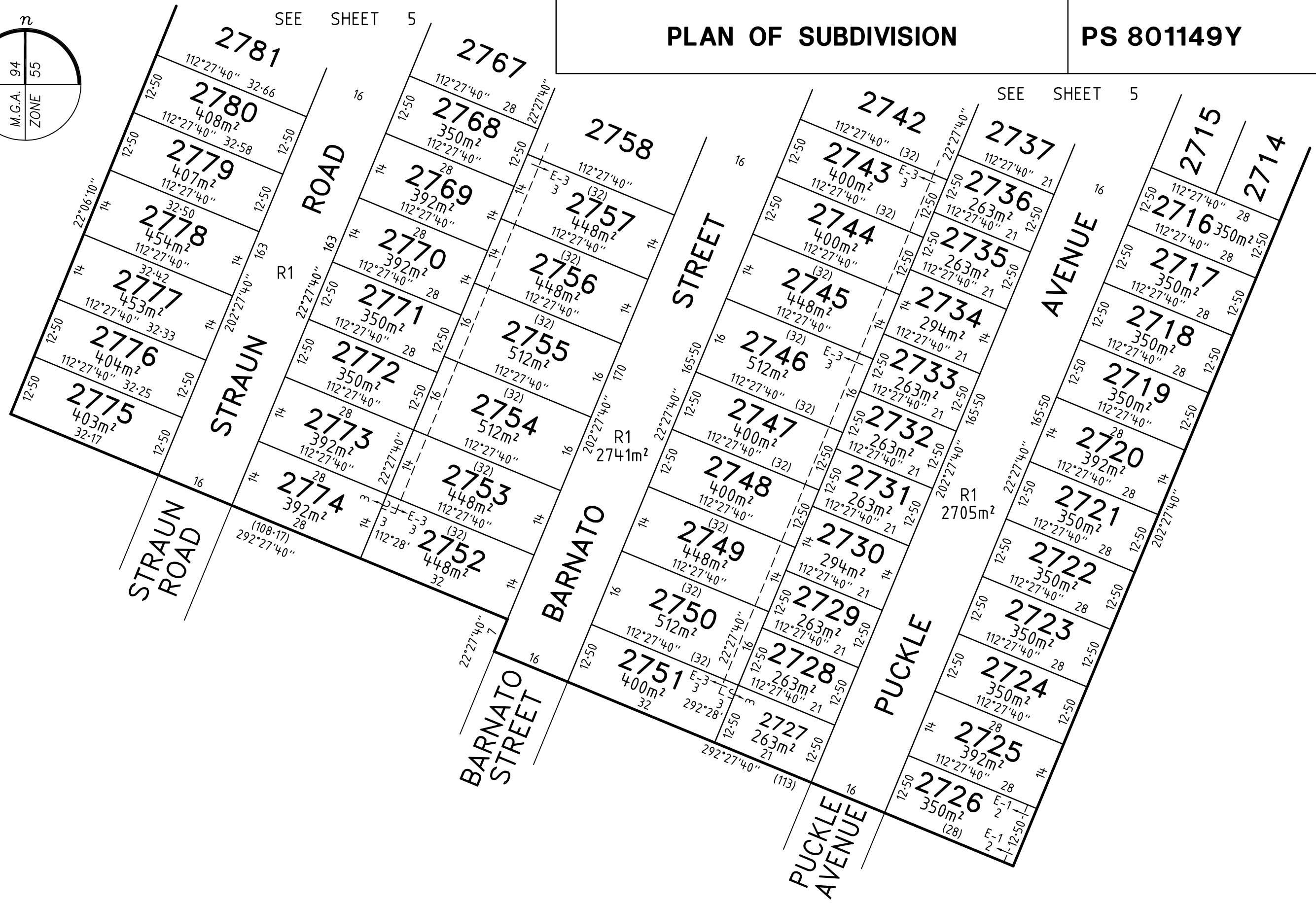
PLAN OF SUBDIVISION

PS 801149Y

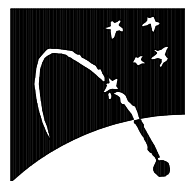


SEE SHEET 5

SEE SHEET 5



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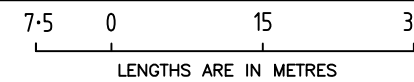
LICENSED SURVEYOR GEOFFREY JAMES TURNER

DATE 10/08/17

REFERENCE 29005253

VERSION H

DRAWING 2900525AH



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 Surveyor's Plan Version (H),
 16/08/2017, SPEAR Ref: S091023M

SCALE
 1:750

ORIGINAL SHEET SIZE A3
 SHEET 6

Digitally signed by:
 Hume City Council,
 05/09/2017,
 SPEAR Ref: S091023M

PLAN OF SUBDIVISION

PS 801149Y

CREATION OF RESTRICTION A

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

DESCRIPTION OF RESTRICTION

TABLE OF LAND BURDENED AND LAND BENEFITED

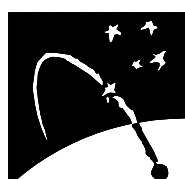
BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
2504	2505, 2520, 2521
2505	2504, 2506, 2519, 2520
2506	2505, 2507, 2517, 2518, 2519
2507	2506, 2508, 2516, 2517
2508	2507, 2509, 2515, 2516
2509	2508, 2510, 2514, 2515
2510	2509, 2511, 2513, 2514
2511	2510, 2512, 2513
2523	2524, 2546
2524	2523, 2525, 2545, 2546
2525	2524, 2526, 2543, 2544
2526	2525, 2527, 2542, 2543
2527	2526, 2528, 2541, 2542
2528	2527, 2529, 2540, 2541
2529	2528, 2530, 2539, 2540
2530	2529, 2531, 2538, 2539
2531	2530, 2532, 2533, 2534, 2537, 2538
2538	2530, 2531, 2537, 2539
2539	2529, 2530, 2538, 2540
2540	2528, 2529, 2539, 2541
2541	2527, 2528, 2540, 2542
2542	2526, 2527, 2541, 2543
2543	2525, 2526, 2542, 2544
2544	2525, 2543, 2545
2545	2524, 2544, 2546
2546	2523, 2524, 2545
2547	2548, 2712, 2713
2548	2547, 2549, 2712
2549	2548, 2550, 2711, 2712
2550	2549, 2551, 2710, 2711
2551	2550, 2552, 2709, 2710
2552	2551, 2553, 2708, 2709
2553	2552, 2554, 2708

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
2554	2553, 2555, 2707, 2708
2555	2554, 2556, 2706
2556	2555, 2557, 2705
2557	2556, 2558, 2559, 2560, 2701, 2704
2563	2562, 2564
2564	2561, 2562, 2563, 2565
2565	2564, 2566
2566	2565, 2567
2567	2566, 2568
2568	2567, 2569
2569	2568, 2570
2570	2569, 2571
2571	2570
2704	2557, 2701, 2702, 2703, 2705
2705	2556, 2704, 2706
2706	2555, 2705, 2707
2707	2554, 2706, 2708
2708	2552, 2553, 2554, 2707, 2709
2709	2551, 2552, 2708, 2710
2710	2550, 2551, 2709, 2711
2711	2549, 2550, 2710, 2712
2712	2547, 2548, 2549, 2711, 2713
2713	2547, 2712
2714	2715, 2716
2715	2714, 2716
2716	2714, 2715, 2717
2717	2716, 2718
2718	2717, 2719
2719	2718, 2720
2720	2719, 2721
2721	2720, 2722
2722	2721, 2723
2723	2722, 2724

CONTINUED ON SHEET 8

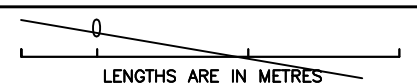
MERRIFIELD – 25

Bosco Jonson Pty Ltd
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 Vic 3205 Australia
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LICENSED SURVEYOR GEOFFREY JAMES TURNER

SCALE



DATE 10/08/17
 VERSION H

REFERENCE 29005253
 DRAWING 2900525AH

ORIGINAL SHEET SIZE A3

SHEET 7

Digitally signed by: Geoffrey James Turner (Bosco Jonson Pty Ltd),
 Surveyor's Plan Version (H),
 16/08/2017, SPEAR Ref: S091023M

Digitally signed by:
 Hume City Council,
 05/09/2017,
 SPEAR Ref: S091023M

PLAN OF SUBDIVISION

PS 801149Y

CREATION OF RESTRICTION A (CONTINUED)

DESCRIPTION OF RESTRICTION

TABLE OF LAND BURDENED AND LAND BENEFITED

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
2724	2723, 2725
2725	2724, 2726
2726	2725
2740	2737, 2738, 2739, 2741, 2742
2741	2740, 2742
2742	2736, 2737, 2740, 2741, 2743
2743	2735, 2736, 2742, 2744
2744	2734, 2735, 2743, 2745
2745	2733, 2734, 2744, 2746
2746	2732, 2733, 2745, 2747
2747	2731, 2732, 2746, 2748
2748	2730, 2731, 2747, 2749
2749	2729, 2730, 2748, 2750
2750	2728, 2729, 2749, 2751
2751	2727, 2750
2752	2753, 2774
2753	2752, 2754, 2773
2754	2753, 2755, 2771, 2772
2755	2754, 2756, 2770, 2771
2756	2755, 2757, 2769, 2770
2757	2756, 2758, 2768, 2769
2758	2757, 2759, 2767, 2768
2759	2758, 2760, 2766, 2767
2760	2759, 2761, 2762, 2765
2761	2760, 2762

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
2762	2760, 2761, 2763
2763	2762, 2764, 2765
2764	2763, 2765
2765	2760, 2763, 2764, 2766
2766	2759, 2765, 2767
2767	2758, 2759, 2766, 2768
2768	2757, 2758, 2767, 2769
2769	2756, 2757, 2768, 2770
2770	2755, 2756, 2769, 2771
2771	2754, 2755, 2770, 2772
2772	2754, 2771, 2773
2773	2753, 2772, 2774
2774	2752, 2773
2775	2776
2776	2775, 2777
2777	2776, 2778
2778	2777, 2779
2779	2778, 2780
2780	2779, 2781
2781	2780, 2782
2782	2781, 2783
2783	2782, 2784
2784	2783, 2785, 2786
2785	2784, 2786
2786	2784, 2785

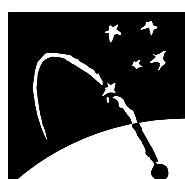
THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT

1. BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING THAT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH PLANS, DRAWINGS, DESIGNS AND SPECIFICATIONS THAT HAVE FIRST BEEN APPROVED BY THE MERRIFIELD LIVING DESIGN REVIEW COMMITTEE IN ACCORDANCE WITH THE "MERRIFIELD LIVING DESIGN GUIDELINES" AS AMENDED FROM TIME TO TIME.
2. SUBDIVIDE OR CAUSE TO SUBDIVIDE OR ALLOW TO BE SUBDIVIDED THE BURDENED LAND.
3. BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT MORE THAN ONE DWELLING.

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TWENTY YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN OF SUBDIVISION.

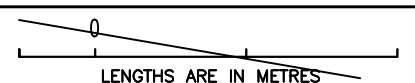
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LICENSED SURVEYOR GEOFFREY JAMES TURNER

SCALE



DATE 10/08/17
 VERSION H

REFERENCE 29005253
 DRAWING 2900525AH

ORIGINAL SHEET SIZE A3

SHEET 8

Digitally signed by: Geoffrey James Turner (Bosco Jonson Pty Ltd),
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 05/09/2017,
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PLAN OF SUBDIVISION

PS 801149Y

CREATION OF RESTRICTION B

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

DESCRIPTION OF RESTRICTION

TABLE OF LAND BURDENED AND LAND BENEFITED

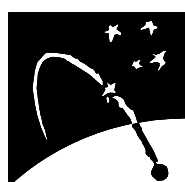
BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
2501	2502
2502	2501, 2503
2503	2502
2512	2511, 2513
2513	2510, 2511, 2512, 2514
2514	2509, 2510, 2513, 2515
2515	2508, 2509, 2514, 2516
2516	2507, 2508, 2515, 2517
2517	2506, 2507, 2516, 2518
2518	2506, 2517, 2519
2519	2505, 2506, 2518, 2520
2520	2504, 2505, 2519, 2521
2521	2504, 2520, 2522
2522	2521
2532	2531, 2533
2533	2531, 2532, 2534
2534	2531, 2533, 2535, 2537
2535	2534, 2536, 2537
2536	2535, 2537
2537	2531, 2534, 2535, 2536, 2538
2558	2557, 2559

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
2559	2557, 2558, 2560
2560	2557, 2559, 2701
2561	2562, 2564
2562	2561, 2563, 2564
2701	2557, 2560, 2702, 2704
2702	2701, 2703, 2704
2703	2702, 2704
2727	2728, 2751
2728	2727, 2729, 2750
2729	2728, 2730, 2749, 2750
2730	2729, 2731, 2748, 2749
2731	2730, 2732, 2747, 2748
2732	2731, 2733, 2746, 2747
2733	2732, 2734, 2745, 2746
2734	2733, 2735, 2744, 2745
2735	2734, 2736, 2743, 2744
2736	2735, 2737, 2742, 2743
2737	2736, 2738, 2740, 2742
2738	2737, 2739, 2740
2739	2738, 2740

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING FOR ANY BURDENED LOT ON THIS PLAN IN THE TABLE AS A LOT SUBJECT TO THE 'SMALL LOT HOUSING CODE (TYPE A)' MUST NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OR STRUCTURE THAT HAS NOT BEEN CONSTRUCTED IN ACCORDANCE WITH THE 'SMALL LOT HOUSING CODE (TYPE A)' UNLESS IN ACCORDANCE WITH A PERMIT GRANTED TO CONSTRUCT A DWELLING ON THE LOT. THIS RESTRICTION SHALL CEASE TO HAVE EFFECT AFTER THE ISSUE OF CERTIFICATE OF OCCUPANCY FOR THE WHOLE OF THE DWELLING ON THE LOT.

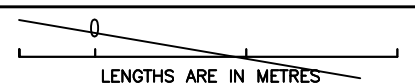
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SCALE



DATE 10/08/17

REFERENCE 29005253

VERSION H

DRAWING 2900525AH

ORIGINAL SHEET SIZE A3

SHEET 9

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